

INVITATION TO BID

Proposals are invited by the owners for rehabilitation work on the property specified below:

Project Address: 124 Mckinley Street
Torrington CT 06790

Proposals will be received until 9:00 a.m. on Tuesday, July 1, 2014 at which time they will be opened. Proposals will be delivered to:

City of Torrington
Purchasing Department
140 Main Street
Torrington CT 06790

Project Specifications are available at the City of Torrington, Purchasing Department, Mon. – Fri., 9:00 A.M. - 4:00 P.M. or at the State of Conn. Dept. of Admin. Services (DAS) website, www.das.ct.gov, State Contracting Portal, City of Torrington, Solicitation Number 143-323.

For more information, contact Bob Caliolo at phone: 203-573-1188 x211 or email: bob@lwagnerassociates.com.

A mandatory pre-bid conference will be held at the following location and time:

PRE-BID Tuesday, June 24, 2014
8:30 a.m.
124 Mckinley Street
Torrington CT 06790

The above work includes: Roofing, windows, doors, carpentry, electrical, lead paint remediation

AN AFFIRMATIVE ACTION / EQUAL OPPORTUNITY EMPLOYER
WBE / MBE / SBE AND SECTION 3 DESIGNATED CONTRACTORS
ARE ENCOURAGED TO APPLY

INSTRUCTIONS TO BIDDERS

Mail or deliver this entire completed bid package in a sealed envelope to be received no later than 9:00 a.m. on Tuesday, July 1, 2014

TO: City of Torrington
Purchasing Department
140 Main Street
Torrington CT 06790

To be noted on outside of envelope:

DO NOT OPEN UNTIL 9:00 a.m. on Tuesday, July 1, 2014

Project No. 143-323
124 Mckinley Street
Torrington CT 06790

**THERE WILL BE A PRE-BID CONFERENCE AT THE ABOVE SITE AT:
8:30 a.m. on: Tuesday, June 24, 2014**

NOTE: CONTRACTOR IS TO SUBMIT THIS ENTIRE BID PACKAGE. ALL BIDS MUST BE FILLED OUT COMPLETELY. IT IS SUGGESTED THAT CONTRACTORS RETAIN A COPY OF THIS ENTIRE BID PACKAGE.

ALL BIDS SHALL REMAIN IN EFFECT FOR THIRTY (30) CALENDAR DAYS AFTER THE RECEIPT OF BIDS.

**CONTRACTOR'S BUSINESS NAME: _____
(PLEASE PRINT)**

**AN AFFIRMATIVE ACTION/EQUAL OPPORTUNITY EMPLOYER
WBE / MBE / SBE AND SECTION 3 DESIGNATED CONTRACTORS
ARE ENCOURAGED TO APPLY**

STATE OF TEXAS

County of ...

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CITY OF TORRINGTON
SCOPE OF WORK, PART 1, GENERAL CONDITIONS

OWNER: Ilse Naehrig
ADDRESS: 124 Mckinley Street
Torrington CT 06790

PROJECT: 143-323

1. The Contractor, unless otherwise specified, shall provide all labor, materials, tools, equipment, and related items, and pay all necessary taxes, fees, and permits necessary to complete all of his work as detailed on the attached scope of work.
2. All rehabilitation, alterations, repairs, or extensions shall be in compliance with all applicable codes of the Municipality. All electrical, heating, and plumbing work shall comply with the rules and regulations of the National, State and Local Codes. Before commencing work, contractors and/or subcontractors shall obtain all necessary permits.
3. The Contractor certifies that he has familiarized himself with the requirements of the specifications and plans and understands the extent and character of the work to be done, and inspected the premises and given his full attention to any and all areas with which he might become specifically involved. He must familiarize himself with all conditions relating to and affecting his work and bid.
4. The selected Contractor must, prior to contract signing, supply the City of Torrington and the Owner with the original certificates of insurance for general liability, auto liability, and worker's compensation, as applicable. General liability insurance shall be a broad form contractual endorsement with minimum limits of one million (\$1,000,000.00) dollars per occurrence for bodily injury and five hundred thousand (\$500,000.00) dollars per occurrence for property damage. Auto Liability insurance shall cover hired and non-hired autos in accordance with State law. Workers' Compensation Insurance shall have a minimum limit of one hundred thousand (\$100,000.00) dollars for each accident. The Contractor shall indemnify and save harmless the Owner and the City of Torrington under these policies. The contractor shall name the City of Torrington, its agents and the Owner as additional insured as their interests may appear on the General Liability Insurance.
5. The Contractor agrees that all services offered by the Municipality through L. Wagner & Associates, Inc. (hereinafter referred to as the "Consultant"), which may affect the Contractor, are offered by the Municipality in order to assist in the project implementation and the necessary program compliance. The Contractor agrees to, upon review and acceptance of such services provided, indemnify, defend, save and hold harmless the Municipality and Consultant, their officers, agents and employees from and against any and all damage, liability, loss, expense, judgment or deficiency of any nature whatsoever (including, without limitation, reasonable attorney's fees and other costs and expenses incident to any suit, action or proceeding) incurred or sustained by Municipality or consultant which shall arise out of or result from consultant's performance in good faith of services pursuant to the Professional Services Contract. The Contractor agrees that the Consultant shall not be liable to the Contractor, its heirs, successors or assigns, for any act performed within the duties and scope of employment pursuant to Professional Services Contract.

6. All materials shall be new and of acceptable quality. The property Owner shall select all colors, models, etc. All materials and work must be applied in accordance with the applicable manufacturer's latest instructions and specifications, and in accordance with Federal prohibitions against the use of lead paint. All manufacturers' warranties are to be extended to the property Owner free and clear of all liens. Unless otherwise specified, all labor, material, and workmanship provided by the Contractor shall be guaranteed by the Contractor for a one (1) year period from the date of the Certificate of Completion. This guarantee shall be in addition to and not in limitation of, in lieu of, or modify any other guarantee that is due the property Owner from any manufacturer.
7. The Contractor shall repair or replace all work, materials, and equipment which are found to be defective during construction and the guarantee period. Repair shall include all damage to surrounding work caused by the failure and/or necessary for the repair or replacement of the defect. All repairs and replacements shall be performed at no additional expense to the Owner and shall be completed promptly after the Contractor receives notice of the defect.
8. The Contractor shall take all necessary measures and precautions to protect the surroundings from damage occurring due to performance of the work. If such damage occurs it will be repaired by the Contractor at no cost to the Owner.
9. The Contractor shall dispose of all debris and remove all material resulting from his work in accordance with local and State law. The Contractor shall police and maintain a clean and safe job site daily. He shall reinstall accessories taken down and clean up all scrap around the project and remove fingerprints. All on-site maintenance relating to the performance of the work shall be the responsibility of the Contractor until the Certificate of Completion is issued. The project shall be maintained in a habitable and safe condition daily if the project is to remain occupied.
10. All work shall be neat and accurate and done in a manner in accordance with customary trade practices.
11. The Contractor shall not make any changes to the scope of work unless a change order is processed and fully executed by the property Owner and the Program.
12. The Owner may cancel this contract by (to be determined) and not be liable to the Contractor or the Municipality. Should the Owner opt to cancel they must sign and send the attached cancellation notice, see Attachment A, to the Contractor, otherwise the Owner shall issue a Notice to proceed authorizing the contractor to commence with the proposed improvements. Should the Notice to Proceed not be issued prior to 10 consecutive calendar days from the date of the expiration date of the right to cancel then the Contract will become Null and void.
13. The Contractor shall commence work under this contract prior to (to be determined) and complete the work by (to be determined).

14. If the Contractor is delayed at any time in the progress of the work by any act or neglect of the Owner or by any employee of the Owner, or by any separate Contractor employed by the Owner, or by changes ordered in the work or by labor disputes, fire, unusual delay in delivery of materials, transportation, adverse weather conditions not reasonably anticipatable, unavoidable casualties, or any causes beyond the Contractor's control, or by delay authorized by the Owner pending arbitration, or by any other cause which justifies the delay, the contract time shall be extended by Change Order for such reasonable time as may be agreed upon by all parties. It shall be the responsibility of the Contractor to request and document in writing such extensions within three (3) calendar days. In the event that the Contractor does not commence or pursue the work as hereinafter stated, then the Owner shall have the right to terminate this agreement and to hire a successor Contractor to perform the work. Any such termination shall be by certified mail to the address noted in this agreement, and shall be effective as of the date of mailing. Payments by the Owner in the event of termination shall be as follows:
15. The successor Contractor shall first be paid and then the terminated Contractor. Payments to the terminated Contractor shall be limited both as to those funds remaining after payment to the successor Contractor but shall not exceed the value of the work actually performed by the terminated Contractor. Further, should the total cost for work performed under this contract exceed the amount stated in this agreement due to the Contractor's termination, then the Owner shall have a cause of action against the terminated Contractor for any such additional cost.
16. If, through any cause, the Contractor shall fail to fulfill in a timely and proper manner his obligations under this Contract, or if the Contractor shall violate any of the covenants, agreements, or stipulations of this Contract, the Owner shall, thereupon, have the right to terminate this Contract by giving written notice to the Contractor of such termination and specifying the effective date of such termination. In such event, all unfinished work required by the Contractor under this Contract shall, at the option of the Owner, be completed or not.
17. The Contractor may request a maximum of (to be determined) progress payments as work is completed in accordance with the attached specifications. The request shall be in the form of an itemized bill for that portion of work completed by the Contractor. All requests for payment shall be accompanied by a fully executed Lien Waiver, on a form provided by the Program. Final payment is contingent upon the receipt of a signature of the respective inspector for which each permit was issued. The Contractor shall be responsible for obtaining the signatures and presenting them upon final payment.
18. All claims or disputes between the Owner and Contractor arising out of or related to the work shall be resolved in accordance with Construction industry arbitration rules of the American Arbitration Association (AAA), unless the parties mutually agree otherwise. The Owner and Contractor shall submit all disputes or claims, regardless of the extent of the work's progress, to AAA. Notice of the demand for arbitration shall be filed in writing, with a copy to the other party to this Construction Agreement, and shall be made within a reasonable time after the dispute has arisen. The award rendered by the arbitrator shall be final, and judgment may be entered upon it in accordance with applicable law in any court having jurisdiction thereof. If the arbitrator's award is in a sum which is less than that which was offered in settlement by the Owner, the arbitrator may award costs and attorney's fees in favor of the Owner.

If the award of the arbitrator is in a sum greater than that which was offered in settlement by the Contractor, the arbitrator may award costs and attorney's fees in favor of the Contractor.

It is understood and agreed by the parties hereto that neither party will institute any form of legal action, including, but not limited to, attaching the assets of the other party, unless and until it has made a good faith attempt to have the dispute resolved in accordance with the provisions of this Section. Noncompliance with the conditions precedent constitutes a waiver of the right to assert said claim.

19. Section 3 of the Housing and Urban Development Act of 1968 applies to this contract if the amount of HUD assistance exceeds \$200,000 or the contract or subcontract exceeds \$100,000. The Contractor shall, to the maximum extent feasible, provide opportunities for training and employment in connection with this contract to low income persons residing in the PMSA relevant to the project location. The Contractor must make a good faith effort to fill any job vacancies and training opportunities with low income persons residing in the PMSA relevant to the project location. Where the preceding applies, contractors must comply with the following Section 3 Clause:
 - A. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1791u (Section 3). The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
 - B. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations.
 - C. The Contractor agrees to send to each labor organization or representative of workers with which the Contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers representative of the Contractor's commitments under this Section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference shall set for the minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking application for each of the positions; and the anticipated date the work shall begin.

- D. The Contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The Contractor will not subcontract with any subcontractor where the Contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.
 - E. The Contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the Contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the Contractors obligations under 24 CFR part 135.
 - F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.
20. The Contractor will not discriminate against any employee or applicant for employment because of race, color, creed, religion, sex, sexual preference, national origin, or mental or physical disability during the performance of this agreement. The Contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, in all employment practices such as the following: employment, upgrading, demotion or transfer, recruitment, advertising, layoff or termination, rates of pay or other forms of compensation and selection for training, including apprenticeship, without regard to their race, color, creed, religion, sex, sexual preference, national origin or mental or physical disability. This provision will be inserted in all subcontracts for work covered by this agreement.
21. In the event of the Contractor's noncompliance with this equal opportunity clause or with any of the said rules, regulations, or orders, this contract may be canceled, terminated, or suspended in whole or in part and the Contractor may be declared ineligible for further contracts in accordance with procedures authorized in Presidential Executive Order 11246, or by rule, regulations, or order of the Secretary of Labor or as provided by law.
22. The following applies to all contracts of \$10,000.00 or more: SECTION 402 VETERANS OF THE VIETNAM ERA. AFFIRMATIVE ACTION FOR DISABLED VETERANS AND VETERANS OF THE VIETNAM ERA. The Contractor will not discriminate against any employee or applicant for employment because he or she is a disabled veteran of the Vietnam era in regard to any position for which the employee or applicant for employment is qualified. The Contractor agrees to take affirmative action to employ, advance in employment and otherwise treat qualified disabled veterans and veterans of the Vietnam era without discrimination based upon their disability or veteran status in all employment practices such as the following: employment upgrading, demotion or transfer, recruitment, advertising, layoff or termination, rates of pay or other forms of compensation and selection for training, including apprenticeship.

23. The premises herein shall be occupied during the course of the construction work.
24. No officer, employee or member of the Governing Body of the City of Torrington shall have any financial interest, direct or indirect, in this contract or the proceeds of this loan.
25. The Owner and/or City Torrington retains the right to reject any or all bids or any part of any bid in part or in whole if deemed to be in the best interest of the Owner and/or City Torrington.
26. Substitutions of materials from that specified are only allowed on an approved/equal basis. The Contractor must submit written documentation of the substitute item or material for approval by the Owner and Program prior to making such substitution. Any items or material substituted by the Contractor without prior written approval of the Owner and Program will at Contractor's expense be replaced if it is determined not to be equal to the item or material specified. Any surrounding, adjoining, or dependent items affected by replacement of unequal substituted material shall also be replaced, reworked, and reinstalled at no cost to the Owner.
27. Bids shall contain prices for general categories of work and/or items as specified on the attached sheets. In the event of a discrepancy between prices listed in the specifications and those on the cost summary sheet, the prices listed on the specification for that section shall prevail. In the case of a mathematical error by the Contractor, the correct sum of the individual line items in the specifications (not in the cost summary) shall be the Contractor's bid.
28. All bids shall remain in effect for thirty (30) calendar days.
29. The Owner will supply all necessary power required by the Contractor at no additional cost to complete his work. Power shall be limited to the use of existing outlets and shall not exceed the existing capacity of the system. Power required over the capacity of the existing electrical system shall be the responsibility of the Contractor. Heating during construction shall be supplied by the owner.
30. OTHER PROVISIONS - LEAD BASED PAINT
 - A. Any and all rehabilitation work under this Agreement will comply with the requirements of the Federal Lead-Based Paint Poisoning Prevention Act (42 U.S.C. 4831) which prohibits the use of lead-based paint in residential structures constructed or rehabilitated with Federal Assistance in any form.

The construction or rehabilitation of residential structures with assistance provided under this contract is subject to the final regulations "Requirements for Notification, Evaluation and Reduction of Lead-Based Paint Hazards in Federally owned Residential Property and Housing Receiving Federal Assistance". The regulation is at 24 CFR Part 35. It implements sections 1012 and 1013 of the Residential Lead-Based Paint Hazard Reduction Act of 1992, Title X, of the Housing and Community Development Act of 1992. Sections 1012 and 1013 amend the Lead-Based Paint Poisoning Prevention Act of 1971.

Provided, however, that the Owner shall have sole responsibility for assuring that his property conforms to the Lead-Based Paint Removal Requirements and the Program shall not assume any liability whatsoever as a result of identifying volatile levels of Lead-Based Paint or its removal except insofar as to comply with applicable environmental regulations.

PUBLIC LAW 91-695 "LEAD-BASED PAINT POISONING PREVENTION ACT"
The Contractor shall adhere strictly to the provisions of the "Lead-Based Paint Poisoning Prevention Act". Specifically, the Contractor will not utilize lead-based paint as a finish or undercoat or any other use in or out of residential dwellings funded in whole and/or part by the Federal Government.

31. The specifications and drawings, if any, are complimentary. Work described in the specifications does not necessarily have to appear on the drawings, nor does work described on the drawings necessarily have to appear in the specifications. The Contractor is responsible for estimating all work whether described in the specifications, the drawings, or both. If there is a discrepancy between the drawings and the specifications, the specifications shall prevail. All work, whether described in the specifications, or the drawings is to be included in the bid summary sheet by appropriate line item. The contract will only be awarded to general Contractors bidding on ALL line items.

LEAD PAINT INFORMATION AND LEAD REPORT

Lead Hazards

1. The contractor will address all lead hazards listed in the enclosed lead report.
2. If the total cost of the project exceeds \$25,000 the contractor carrying out the work must comply with the licensing requirements established pursuant to Connecticut General Statute sections 20-474 through 20-476, and the Lead Licensure and Certification Regulations sections 20-478-1 through 20-478-2. The contractor carrying out the work must be licensed by the Connecticut Department of Public Health as a Licensed Lead Abatement Contractor. Employees carrying out the work must be certified as Lead Abatement Workers. At least one employee onsite must hold certification as a Lead Abatement Supervisor.
3. If the location of the rehabilitation project is the residence of a child under the age of six, then the contractor carrying out the work must comply with the licensing and certification requirements described in paragraph A, above. The contractor must also carry out lead abatement work, as described under the Lead Poisoning Prevention and Control Regulations section 19a-111-1 through 19a-111-11. A contractor shall not begin work until after the lead abatement work plan has been approved by the local Director of Health.
4. If the total cost of the project is under \$25,000 the contractor carrying out the work must comply with the requirements of the U.S. Environmental Protection Agency's (EPA) Renovation, Repair and Painting Rule (RRP Rule), as well as with HUD's Lead-Safe Work Practices requirements. The company or firm hired to carry out the work shall hold the credential of "EPA RRP Certified Firm." An individual representing that firm, must hold the credential of "EPA certified Renovator." Workers onsite must be trained in lead-safe work practices. (Please note: Although the HUD Lead-Safe Work Practices requirements do not apply to projects that are below \$5,000, the EPA RRP Rule does apply to projects that cost less than \$5,000. Also, the EPA and HUD lead-safe work practices 'certifications' are not equivalent to the licensure and certification requirements of the Connecticut Department of Public Health.)

Disposal

1. The Contractor shall perform a Toxicity Characteristic Leaching Procedure test, TCLP, as pursuant to Regulations of Connecticut State Agencies Section 22a-449(c)-101(a) (1), incorporating 40 CFR 262.24.
2. The TCLP test will determine the toxicity of the material being disposed of and classify it as either bulky waste or hazardous waste.
3. The Contractor shall assume in their bid price that the TCLP test will result in the disposal of the material as bulky waste. In the event that the TCLP test determines the material to be disposed of as hazardous waste a change order will be negotiated prior to the disposal.
4. The Contractor shall provide the Owner, Town and Consultant with copies of the TCLP test results.

Clearance Testing

1. The Contractor shall hire a Licensed Lead Abatement Consultant, who employs a Certified Lead Inspector or Certified Lead Inspector Risk Assessor to carry out a re-inspection of the work area where lead hazards have been controlled or eliminated. The re-inspection and clearance sampling shall be done only after completion of the project. If visible debris remains in the work area, the project is not complete. The licensed lead consultant and certified inspector shall issue a letter of compliance when the lead remediation or lead abatement work, and dust wipe results are found to be acceptable.
2. The Contractor shall provide the owner, and town with copies of the dust wipe clearance results and the letter of compliance.



May 28, 2014

Ilse Nachrig
124 McKinley St.
Torrington, CT 06790

Dear Ilse,

Thank you for choosing me to do the lead paint test of your house at 124 McKinley St. Torrington, CT In addition to this report, I am enclosing the following information:

1. Summary Report showing information on readings at or above the action level of 1.0 mg/cm². This report shows only the leaded surfaces.
2. Detailed Report showing results of all readings. Both reports identify:
 - The readings, organized by room.
 - *Wall*: this shows the side of the house where the reading was taken. Note that the wall closest to the street is always the "A" wall – the remaining walls are named in clockwise fashion, with B to the left side, C on the Rear side, and D on the right side. For example, if the inspection refers to a door on the "A side" of a room, it would be located on the wall of the room that is closest to the street.
 - *Structure*: This identifies the component that was tested – for example a window or door.
 - *Location*: This indicates if the reading was on the left, right or center side of the wall.
 - *Member*: This identifies what part of the components was tested. For example, the window sill or the stair tread.
 - *Paint Condition*: The condition of the paint (I for intact, , and P for poor or defective) Note that "Poor" simply means that there are visible defects in the surface
 - *Lead (mg/cm²)*: This shows the amount of lead measured in milligrams per square centimeter. Note that anything at or greater than 1.0 mg/cm² is considered a toxic level of lead.
 - *Mode*: All readings were taken in "QuickMode", which means the XRF automatically tests as long as necessary to provide a 95% confidence level.
3. Rough drawing of the house (The drawings are intended only to show room layout; they are not to scale)
4. Dust wipe results

Scope of Work

A risk assessment was done using XRF readings on selected painted and stained surfaces on the interior and exterior of the house. Ground cover is good; no soil samples were taken. Dust wipes were taken on representative floor and a sill; all wipes were below toxic limits.

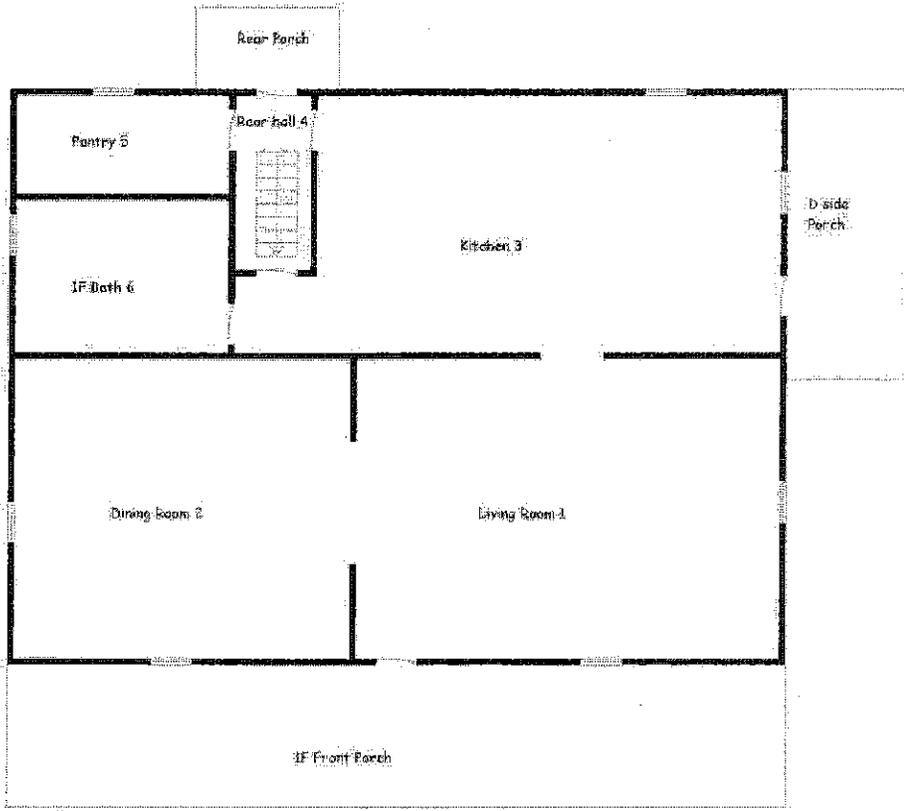
Results

The following is a summary of all surfaces that contain lead. *Lead hazards* need to be addressed; intact surfaces that are not currently hazards do not need to be addressed. Note that the assessment reflects the condition on the day of the walkthrough – if additional painted surfaces become defective, they will have to be stabilized and repainted.

124 McKinley St., Torrington

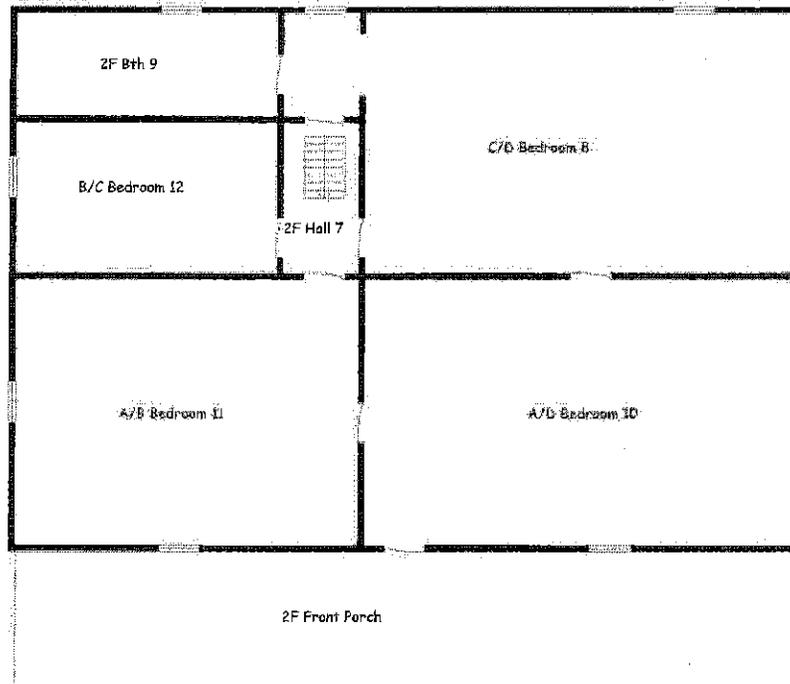
For layout only, not to scale

Side C



Side B

Side D



Side A

Pantry (cont)		Cabinet Frame
		Plaster walls & wood walls
1F Bath		Casing/jamb to Kitchen
		Window trim/sash
2F Hall	Door/casing/jamb to B/C Bedroom	
	Door/casing jamb to A/B Bedroom	
	Casing/jamb to C/D Bedroom	
	Casing/jamb to stairs	
	Ceiling/Walls	
C/D Bedroom	Casing/jamb to 2F Hall	
	Door/casing/jamb/threshold to A/D Bedroom	
	Window trim/sashes	
	Door/casing/jamb to attic	
	Casing/jamb to Rear Hall area	
2F Bath		Window trim/sash
A/D Bedroom		Ceiling
		Window sashes
		Wood stormdoor
A/B Bedroom	Walls	Ceiling
	Window sashes	
B/C Bedroom	Ceiling	
	B & D walls	
	Door/casing/jamb to 2F Hall	
	Window trim/sash	

Actions:

Exterior:

1. Discard the metal storm windows and replace them with vinyl replacement windows per L. Wagner specifications. Wrap any exposed trim.
2. Replace the basement windows with vinyl replacement window per L. Wagner specifications. Wrap any exposed trim

1F Front Porch

3. Liquid encapsulate the porch floor and cover it fully with indoor/outdoor carpeting.
Alternate 3A: Enclose the floor in exterior grade plywood. Caulk the seams, paint the floor using a non-slip additive and install metal bullnose on any exposed edges.
4. Paint the beadboard ceiling and the beadboard railwalls and endboards.

2F Front Porch

5. Liquid encapsulate the floor and cover with indoor/outdoor carpeting.
Alternate 5A: Enclose the floor in exterior grade plywood. Caulk the seams and paint using a non-slip additive. Install metal bullnose on any exposed edges.
6. Paint the beadboard ceiling and the beadboard railwalls.
7. Strip or replace the threshold to the A/D Bedroom.
Alternate 7A: Replace the door and threshold to the A/D Bedroom with a pre-hung, exterior door. Wrap any exposed trim.

Rear Porch

8. Replace the door & threshold to the Rear hall with a pre-hung, exterior door per L. Wagner specifications. Wrap the door trim.

D side Porch

9. Paint the beadboard railwalls and endboard facing the street.
10. Strip or replace the threshold to the Kitchen and wrap the kickplate in aluminum.
Alternate 10A: Replace the door and threshold with a pre-hung, exterior door. Wrap the door trim and wrap the kickplate.

Interior

Kitchen

11. Paint the casings and jambs to the Living Room, Rear Hall, and 1F Bath
12. Paint the door, casings and jamb to the Basement.

Rear Hall

13. Paint the casings and jambs to the Pantry & Kitchen,. Paint the casings to the Rear Porch.
14. Sheetrock the B-side stair wall and re-attach the handrail. Patch the D wall and stair ceiling as necessary. Paint the ceiling and stair walls.
15. Liquid encapsulate the treads and risers. Carpet the stairs with a low-pile carpeting.

2F Hall

16. Patch the ceiling and the D wall over the door to the B/C Bedroom. Paint the ceiling and the walls.
17. Trim the door to the B/C Bedroom so it opens and closes without rubbing. Paint the doors/casings/jambs to the B/C and A/B Bedrooms on both sides.
18. Paint the casings and jambs to the C/D Bedroom and stairs on both sides.

C/D Bedroom

19. Remove or replace the threshold to the A/D Bedroom.
20. Paint the door, casing and jamb to the attic.
21. Paint the window trim.

A/B Bedroom

22. Patch the walls as necessary. Paint the walls.

B/C Bedroom

23. Patch the ceiling and walls as necessary. Paint the ceiling and walls.

Management Plan

The owner will be responsible for monitoring surfaces with lead based paint to ensure surfaces do not become defective. All renovation and maintenance work must be done using lead safe work practices.

The owner must also include in their monitoring any lead based paint surfaces that are enclosed to ensure that the enclosure has not become defective and exposed the lead based painted surfaces. Monitoring will be done formally on a quarterly basis.

Note that the lead test was done based on testing the materials on the surface. The XRF penetrates only about 3/8"; therefore there may be additional leaded surfaces below the existing walls or trim that were not accessible for testing. Any additional painted surfaces that are uncovered in the future should be assumed to be leaded (or tested for lead) and lead safe work practices should be used.

The owner will ensure that anyone who is called in to do maintenance (i.e. plumbers, electricians, and so on) on any enclosed leaded surface will be notified that they are working on a leaded surface. This notification will be in writing.

Exterior

	Remaining Intact leaded Surfaces
Exterior	Window wells, ext. tracks, Cellar window frames,
1F Front Porch	Brick footings Kickplate, old threshold under new threshold Floor Beadboard ceiling/railwalls Endboards
2F Front Porch	Door casing Ext. door/jamb/ext. jamb/threshold to A/D Bedroom Beadboard ceiling/railwalls Floor
Rear Porch	Casing to Rear Hall

	Beadboard ceiling, columns
	Decorative support
	Ext. door jamb
D side Porch	Beadboard railwalls/endboard
	Casing/kickplate/ to Kitchen

Interior

	Remaining Intact leaded Surfaces
Living Room	Walls /ceiling
	Jamb to Kitchen
	Window sashes
Dining Room	Ceiling
Kitchen	Walls
	Window trim
	Door/casing/jamb to Bsmt
	Casing/jamb to Living Room
	Casing/jamb to Rear Hall
	Casing/jamb to 1F Bath
Rear Hall	Ceiling
	Stair ceiling
	Stair walls/stair baseboards
	Treads & risers
	Casing/jamb to Pantry
	Casing/jamb to Kitchen
	Casing/jamb to 2F Hall
Pantry	Casing/jamb to Rear Hall
	Plumbing pipe
	Cabinet Frame
	Plaster walls & wood walls
1F Bath	Casing/jamb to Kitchen
	Window trim
2F Hall	Stair ceiling
	Stair walls/stair baseboards
	Treads & risers
	Casing/jamb to Pantry
	Casing/jamb to Kitchen
C/D Bedroom	Casing/jamb to 2F Hall
	Door/casing/jamb/ to A/D Bedroom
	Window trim
	Door/casing/jamb to attic
	Casing/jamb to Rear Hall area
2F Bath	Window trim
A/D Bedroom	Ceiling
	Wood storindoor
A/B Bedroom	Ceiling/walls
B/C Bedroom	Ceiling

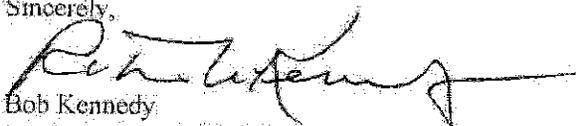
	B & D walls
	Door/casing/jamb to 2F Hall
	Window trim

Disclosure

The Federal Residential Lead-Based Paint Hazard Reduction Act, 42 U.S.C. 4852d, requires sellers and landlords of most residential housing built before 1978 to disclose all available records and reports concerning lead-based paint and/or lead-based hazards, including the test results contained in this notice, to purchasers and tenants at the time of sale or lease or upon lease renewal. This disclosure must occur even if hazard reduction or abatement has been completed. Failure to disclose these test results is a violation of the U.S. Department of Housing and Urban Development and the U.S. Environmental Protection Agency regulations at 24 CFR Part 35 and 40 CFR Part 745 and can result in a fine of up to \$11,000 per violation. To find out more information about your obligations under federal lead-based paint requirements, call 1-800-424-LEAD. Landlords (lessors) and sellers are also required to distribute an educational pamphlet and include standard warning language in their leases or sales contracts to ensure that parents have the information they need to protect their children from lead-based paint hazards.

Again, I appreciate the opportunity to work with you.

Sincerely,



Bob Kennedy
 Lead Inspector # 002240
 Planner/Designer #002158

LEAD PAINT INSPECTION REPORT

REPORT NUMBER: S#01109 - 05/15/14 09:58

INSPECTION FOR: Ilsa Nachrig
124 McKinley St.
Torrington, CT 06790

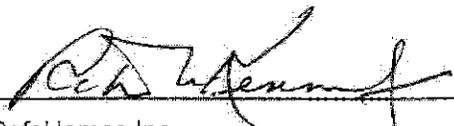
PERFORMED AT: 124 McKinley St.
Torrington, CT 06790

INSPECTION DATE: 05/15/14

INSTRUMENT TYPE: R M D
MODEL LPA-1
XRF TYPE ANALYZER
Serial Number: 01109

ACTION LEVEL: 1.0 mg/cm²

OPERATOR LICENSE: 002240

SIGNED: 

SafeHomes Inc.
Bob Kennedy
PO Box 1125
Waterbury, CT 06721-1125

Date: 5-27-14

SUMMARY REPORT OF LEAD PAINT INSPECTION FOR: Iisa Nachrig

Inspection Date: 05/15/14 124 McKinley St.
 Report Date: 5/27/2014 Torrington, CT 06790
 Abatement Level: 1.0
 Report No. S#01109 - 05/15/14 09:58
 Total Readings: 217 Actionable: 121
 Job Started: 05/15/14 09:58
 Job Finished: 05/15/14 11:53

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
Exterior Room 001 Exterior									
176	B	CelWinFrame	Rgt		P			2.6	QM
175	D	CellarWindow	Lft		P			1.0	QM
Exterior Room 002 1F Frt Prch									
189	A	Ceiling	Ctr		P	Beadboard		>9.9	QM
199	A	Endboard	Ctr		P			>9.9	QM
190	A	RailingWall	Rgt		P	Beadboard		8.3	QM
191	B	RailingWall	Ctr		P	Beadboard		5.5	QM
195	C	Threshold	Ctr		I			3.4	QM
		old threshold flush under new threshold							
196	C	Kickplate	Ctr		I			1.9	QM
203	C	Floor	Ctr		P			2.7	QM
206	D	PrchFooting	Lft		I	Brick		1.0	QM
192	D	RailingWall	Ctr		P	Beadboard		5.8	QM
204	D	Floor	Rgt		P			2.4	QM
Exterior Room 003 2F Frt Prch									
159	A	Ceiling	Ctr		P	Beadboard		>9.9	QM
160	A	RailingWall	Ctr		P	Beadboard		>9.9	QM
163	A	Floor	Ctr		P			3.8	QM
162	B	RailingWall	Ctr		P	Beadboard		1.9	QM
164	C	Door	Ctr	Rgt casing	I			>9.9	QM
161	D	RailingWall	Ctr		P	Beadboard		4.0	QM
Exterior Room 004 Rear Porch									
170	A	Door	Ctr	Rgt casing	I			>9.9	QM
166	C	Column	Rgt	U column	I			3.5	QM
165	C	Ceiling	Ctr		I	Beadboard		>9.9	QM
171	C	DecrtiveSupt	Ctr		I			6.2	QM
Exterior Room 005 D SidePorch									
183	A	Endboard	Ctr		P			>9.9	QM
		board faces street							
187	B	Door	Lft	Lft casing	P			>9.9	QM
181	C	RailingWall	Ctr		P	Beadboard		5.1	QM
182	D	RailingWall	Lft		P	Beadboard		8.0	QM
Comment: Soffit panels on ceiling.									
Interior Room 001 Living Rm									
006	A	Wall	U Rgt		I			1.0	QM
005	A	Ceiling			I			2.6	QM
019	C	Door	Ctr	Rgt jamb	P			2.2	QM
016	D	Window	Ctr	Sash	I			6.9	QM
Comment: Carpet on floor.									
Interior Room 002 Dining Rm									
022	A	Ceiling			I			1.6	QM
023	B	Window	Ctr	Sash	I			3.1	QM
Comment: Carpet on floor, vinyl cove baseboard. Walls paneled.									

SUMMARY REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
Interior Room 003 Kitchen									
027	A	Wall	U Ctr		I			8.0	QM
034	A	Door	Lft	Rgt casing	I			3.1	QM
028	B	Wall	U Ctr		I			6.7	QM
030	C	Wall	U Ctr		I			7.8	QM
041	C	Window	Rgt	Sash	I			7.5	QM
040	C	Window	Rgt	Lft casing	I			3.7	QM
032	C	Door	Lft	Rgt casing	P			1.9	QM
031	C	Door	Lft	L Ctr	P			2.4	QM
029	D	Wall	U Ctr		I			9.1	QM
038	D	Threshold	Rgt		P			3.4	QM
039	D	Kickplate	Rgt		P			>9.9	QM
Comment: Linoleum on floor, upper walls wallpapered, paneling on lower walls.									
Interior Room 004 Rear Hall									
042	A	Ceiling			I			1.8	QM
063	A	Door	Ctr	Rgt jamb	P			2.9	QM
064	A	Door	Ctr	Rgt casing	P			1.4	QM
048	A	Stairs	Ctr	Treads	P			4.7	QM
049	A	Stairs	Ctr	Risers	P			3.0	QM
050	A	Stairs	Ctr	Risers	P			5.2	QM
051	A	StairCeiling	Ctr		P			2.0	QM
061	B	Door	Ctr	Rgt jamb	I			3.4	QM
062	B	Door	Ctr	Rgt jamb	P			1.0	QM
060	B	Door	Ctr	Rgt casing	P			7.5	QM
046	B	Stairs	Ctr	Wall	P			2.2	QM
047	B	Stairs	Ctr	Baseboard	P			4.8	QM
043	C	Wall	U Ctr		I			1.6	QM
053	C	Door	Ctr	Header	P			1.3	QM
052	C	Door	Ctr	U Ctr	P			1.0	QM
055	C	ExteriorJamb	Ctr		I			9.8	QM
056	C	Threshold	Ctr		I			1.5	QM
old threshold under new									
057	C	Kickplate	Ctr		I			3.1	QM
059	C	ExteriorDoor	Ctr		P			2.3	QM
044	D	Stairs	Ctr	Wall	P			2.7	QM
045	D	Stairs	Ctr	Baseboard	P			4.5	QM
Interior Room 005 Pantry									
070	A	Wall	U Lft		I	Wood		6.6	QM
072	A	CabinetFrame	Ctr		I			2.3	QM
067	B	Wall	L Rgt		I			4.3	QM
075	B	Pipe	Ctr		I			4.1	QM
068	C	Wall	U Lft		I			6.3	QM
078	C	Window	Ctr	Sash	P			7.2	QM
wood storm window									
069	D	Wall	U Lft		I			4.8	QM
080	D	Door	Lft	Rgt jamb	I			3.3	QM
079	D	Door	Lft	Rgt casing	I			5.2	QM
Comment: Linoleum on floor.									
Interior Room 006 1F Bath									
086	B	Window	Rgt	Sash	I			2.7	QM
085	B	Window	Rgt	Sill	I			1.8	QM
083	D	Door	Rgt	Rgt jamb	I			2.3	QM

SUMMARY REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
082	D	Door	Rgt	Rgt casing	I			3.2	QM
Comment: Linoleum on floor, Formica board on walls.									
Interior Room 007 2nd Fl Hall									
091	A	Wall	U	Ctr	I			1.7	QM
087	A	Ceiling			P			4.0	QM
094	A	Door		Rgt jamb	P			1.0	QM
093	A	Door	Ctr	Rgt casing	P			1.0	QM
092	A	Door	Ctr	U Ctr	P			1.0	QM
090	B	Wall	U	Ctr	I			3.2	QM
088	D	Wall	U	Ctr	P			3.0	QM
Comment: Carpet on floor.									
Interior Room 008 C/D Bedrm									
097	A	Door	Ctr	Rgt casing	I			2.8	QM
098	A	Door	Ctr	U Ctr	I			3.1	QM
115	A	Door	Rgt	U Ctr	P			>9.9	QM
096	B	Door	Lft	Rgt jamb	P			2.2	QM
095	B	Door	Lft	Rgt casing	P			2.4	QM
103	B	Door	Rgt	Rgt casing	I			2.0	QM
104	C	Window	Lft	Rgt casing	P			3.1	QM
105	C	ExteriorSash	Lft		P			1.6	QM
102	D	Window	Lft	Sash	P			>9.9	QM
100	D	Window	Lft	Sill	P			2.8	QM
101	D	Window	Lft	Lft casing	P			7.7	QM
Comment: Carpet on floor, walls paneled, ceiling tiled.									
Interior Room 009 2F Bath									
111	C	Window	Ctr	Sash	I			3.2	QM
112	C	Window	Ctr	Lft casing	I			2.1	QM
Comment: Linoleum on floor.									
Interior Room 010 A/D Bedrm									
116	A	Ceiling			I			2.9	QM
127	A	Door	Rgt	Lft jamb	I			1.0	QM
128	A	Threshold	Rgt		I			3.4	QM
129	A	ExteriorDoor	Rgt		I			2.6	QM
130	A	ExteriorJamb	Rgt		I			>9.9	QM
131	A	Storm Door	Rgt		I	Wood		1.9	QM
120	D	Window	Ctr	Sash	I			5.3	QM
Comment: Carpet on floor.									
Interior Room 011 A/B Bedrm									
140	A	Wall	U	Rgt	I			2.9	QM
133	A	Ceiling			I			3.6	QM
141	B	Wall	U	Ctr	I			3.4	QM
142	B	Window	Ctr	Sash	P			7.4	QM
144	B	ExteriorSash	Ctr		P			6.5	QM
145	B	Blindstop	Ctr		P			>9.9	QM
137	C	Wall	U	Ctr	P			3.1	QM
139	D	Wall	U	Lft	I			2.7	QM
Comment: Carpet on floor.									
Interior Room 012 B/C Bedrm									
146	A	Ceiling			P			3.0	QM
149	B	Wall	U	Rgt	P			4.0	QM
155	B	Window	Rgt	Sash	P			3.3	QM

SUMMARY REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
154	B	Window	Rgt	Sill	P			1.6	QM
153	B	Window	Rgt	Lft casing	P			6.2	QM
150	D	Wall	L Ctr		P			3.4	QM
157	D	Door	Rgt	Rgt jamb	P			1.0	QM
156	D	Door	Rgt	Rgt casing	P			2.2	QM
158	D	Door	Rgt	U Ctr	P			1.0	QM

Comment: Carpet on floor.

Calibration Readings

----- End of Readings -----

DETAILED REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Inspection Date: 05/15/14 124 McKinley St.
 Report Date: 5/27/2014 Torrington, CT 06790
 Abatement Level: 1.0
 Report No. S#01109 - 05/15/14 09:58
 Total Readings: 217
 Job Started: 05/15/14 09:58
 Job Finished: 05/15/14 11:53

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
Exterior Room 001 Exterior									
178	A	Wall	L Rgt		I	AsbShingle		0.0	QM
176	B	CelWinFrame	Rgt		P			2.6	QM
179	C	Wall	L Lft		I	AsbShingle		-0.2	QM
173	C	Hatch	Lft		P			0.0	QM
174	C	Hatch	Lft		P			0.0	QM
177	D	Wall	L Lft		I	AsbShingle		-0.1	QM
180	D	Wall	L Lft		I	AsbShingle		0.0	QM
175	D	CellarWindow	Lft		P			1.0	QM
Exterior Room 002 1F Frt Prch									
207	A	Foundation	Ctr		I	ConcrBlock		0.2	QM
205	A	Skirt board			P			0.0	QM
209	A	Stairs	Ctr	Treads	P	Concrete		0.3	QM
189	A	Ceiling	Ctr		P	Beadboard		>9.9	QM
198	A	Endboard	Ctr		P			0.3	QM
		at top of stairs.							
199	A	Endboard	Ctr		P			>9.9	QM
200	A	Floor	Ctr		P			-0.1	QM
208	A	Top riser	Ctr		P			0.1	QM
190	A	RailingWall	Rgt		P	Beadboard		8.3	QM
191	B	RailingWall	Ctr		P	Beadboard		5.5	QM
201	B	Floor	Ctr		P			0.3	QM
193	C	Wall	L Lft		I	AsbShingle		-0.2	QM
194	C	Door	Ctr	Lft casing	I			0.1	QM
195	C	Threshold	Ctr		I			3.4	QM
		old threshold flush under new threshold							
196	C	Kickplate	Ctr		I			1.9	QM
197	C	Threshold	Ctr		I			-0.1	QM
		new							
202	C	Floor	Ctr		P			-0.1	QM
203	C	Floor	Ctr		P			2.7	QM
206	D	PrchFooting	Lft		I	Brick		1.0	QM
192	D	RailingWall	Ctr		P	Beadboard		5.8	QM
204	D	Floor	Rgt		P			2.4	QM
Exterior Room 003 2F Frt Prch									
159	A	Ceiling	Ctr		P	Beadboard		>9.9	QM
160	A	RailingWall	Ctr		P	Beadboard		>9.9	QM
163	A	Floor	Ctr		P			3.8	QM
162	B	RailingWall	Ctr		P	Beadboard		1.9	QM
164	C	Door	Ctr	Rgt casing	I			>9.9	QM
161	D	RailingWall	Ctr		P	Beadboard		4.0	QM
Exterior Room 004 Rear Porch									
170	A	Door	Ctr	Rgt casing	I			>9.9	QM
167	A	Floor	Ctr		P			-0.1	QM
168	B	Floor	Ctr		P			0.1	QM
166	C	Column	Rgt	U column	I			3.5	QM
165	C	Ceiling	Ctr		I	Beadboard		>9.9	QM

DETAILED REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
169	C	Floor	Ctr		P			0.1	QM
171	C	DecrativeSupt	Ctr		I			6.2	QM
172	C	Top riser	Ctr		P			0.2	QM
Exterior Room 005 D SidePorch									
183	A	Endboard board faces street	Ctr		P			>9.9	QM
188	B	Wall	L Ctr		I	AsbShingle		-0.1	QM
187	B	Door	Lft	Lft casing	P			>9.9	QM
181	C	RailingWall	Ctr		P	Beadboard		5.1	QM
182	D	RailingWall	Lft		P	Beadboard		8.0	QM
184	D	Floor Edge	Ctr		P			-0.1	QM
185	D	Floor Edge	Ctr		P			0.0	QM
186	D	Floor Edge	Ctr		P			0.0	QM
Comment: Soffit panels on ceiling.									
Interior Room 001 Living Rm									
006	A	Wall	U Rgt		I			1.0	QM
005	A	Ceiling			I			2.6	QM
009	B	Wall	U Rgt		I			0.4	QM
007	C	Wall	U Ctr		I			0.7	QM
012	C	Wall	U Ctr		I			0.2	QM
013	C	Wall	U Ctr		I			0.0	QM
021	C	Baseboard	Rgt		I			0.3	QM
011	C	Chair rail	Ctr		I			0.1	QM
019	C	Door	Ctr	Rgt jamb	P			2.2	QM
018	C	Door	Ctr	Rgt casing	I			0.2	QM
020	C	Door	Ctr	Lft casing	I			0.5	QM
008	D	Wall	U Lft		I			0.6	QM
017	D	Window	Ctr	Rgt jamb	P			0.3	QM
016	D	Window	Ctr	Sash	I			6.9	QM
015	D	Window	Ctr	Sill	P			0.5	QM
014	D	Window	Ctr	Lft casing	I			0.3	QM
010	D	Door	Ctr	Rgt casing	I			0.1	QM
Comment: Carpet on floor.									
Interior Room 002 Dining Rm									
022	A	Ceiling			I			1.6	QM
023	B	Window	Ctr	Sash	I			3.1	QM
024	B	Window	Ctr	Sill	I			0.7	QM
025	B	Window	Ctr	Lft casing	I			0.5	QM
Comment: Carpet on floor, vinyl cove baseboard. Walls paneled.									
Interior Room 003 Kitchen									
027	A	Wall	U Ctr		I			8.0	QM
026	A	Ceiling			I			0.0	QM
034	A	Door	Lft	Rgt casing	I			3.1	QM
028	B	Wall	U Ctr		I			6.7	QM
030	C	Wall	U Ctr		I			7.8	QM
041	C	Window	Rgt	Sash	I			7.5	QM
040	C	Window	Rgt	Lft casing	I			3.7	QM
033	C	Door	Lft	Rgt jamb	P			0.7	QM
032	C	Door	Lft	Rgt casing	P			1.9	QM
031	C	Door	Lft	L Ctr	P			2.4	QM
029	D	Wall	U Ctr		I			9.1	QM
037	D	Door	Rgt	Rgt jamb	I			0.1	QM
035	D	Door	Rgt	Rgt casing	I			0.0	QM

DETAILED REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
036	D	Door	Rgt	U Ctr	I			0.1	QM
038	D	Threshold	Rgt		P			3.4	QM
039	D	Kickplate	Rgt		P			>9.9	QM
Comment: Linoleum on floor, upper walls wallpapered, paneling on lower walls.									
Interior Room 004 Rear Hall									
042	A	Ceiling			I			1.8	QM
063	A	Door	Ctr	Rgt jamb	P			2.9	QM
064	A	Door	Ctr	Rgt casing	P			1.4	QM
048	A	Stairs	Ctr	Treads	P			4.7	QM
049	A	Stairs	Ctr	Risers	P			3.0	QM
050	A	Stairs	Ctr	Risers	P			5.2	QM
051	A	StairCeiling	Ctr		P			2.0	QM
061	B	Door	Ctr	Rgt jamb	I			3.4	QM
062	B	Door	Ctr	Rgt jamb	P			1.0	QM
060	B	Door	Ctr	Rgt casing	P			7.5	QM
046	B	Stairs	Ctr	Wall	P			2.2	QM
047	B	Stairs	Ctr	Baseboard	P			4.8	QM
043	C	Wall	U Ctr		I			1.6	QM
053	C	Door	Ctr	Header	P			1.3	QM
054	C	Door	Ctr	Rgt jamb	I			0.4	QM
052	C	Door	Ctr	U Ctr	P			1.0	QM
055	C	ExteriorJamb	Ctr		I			9.8	QM
056	C	Threshold	Ctr		I			1.5	QM
old threshold under new									
057	C	Kickplate	Ctr		I			3.1	QM
058	C	Threshold	Ctr		I			0.0	QM
new threshold over old threshold									
059	C	ExteriorDoor	Ctr		P			2.3	QM
044	D	Stairs	Ctr	Wall	P			2.7	QM
045	D	Stairs	Ctr	Baseboard	P			4.5	QM
Interior Room 005 Pantry									
070	A	Wall	U Lft		I	Wood		6.6	QM
066	A	Wall	U Ctr		I			0.6	QM
065	A	Ceiling			I			0.1	QM
071	A	CabinetShelf	Ctr		I			0.1	QM
072	A	CabinetFrame	Ctr		I			2.3	QM
073	A	CabinetShelf	Ctr		I			0.0	QM
074	A	CabinetShelf	Ctr		I			0.3	QM
067	B	Wall	L Rgt		P			4.3	QM
075	B	Pipe	Ctr		I			4.1	QM
068	C	Wall	U Lft		I			6.3	QM
077	C	Window	Ctr	Rgt casing	I			0.3	QM
078	C	Window	Ctr	Sash	P			7.2	QM
wood storm window									
076	C	Window	Ctr	Lft casing	I			0.1	QM
069	D	Wall	U Lft		I			4.8	QM
080	D	Door	Lft	Rgt jamb	I			3.3	QM
079	D	Door	Lft	Rgt casing	I			5.2	QM
Comment: Linoleum on floor.									
Interior Room 006 1F Bath									
081	A	Ceiling			I			-0.1	QM
086	B	Window	Rgt	Sash	I			2.7	QM
085	B	Window	Rgt	Sill	I			1.8	QM

DETAILED REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
084	D	Baseboard	Rgt		I			0.1	QM
083	D	Door	Rgt	Rgt jamb	I			2.3	QM
082	D	Door	Rgt	Rgt casing	I			3.2	QM
Comment: Linoleum on floor, Formica board on walls.									
Interior Room 007 2nd Fl Hall									
091	A	Wall	U Ctr		I			1.7	QM
087	A	Ceiling			P			4.0	QM
094	A	Door	Ctr	Rgt jamb	P			1.0	QM
093	A	Door	Ctr	Rgt casing	P			1.0	QM
092	A	Door	Ctr	U Ctr	P			1.0	QM
090	B	Wall	U Ctr		I			3.2	QM
089	C	Wall	U Ctr		I			0.1	QM
088	D	Wall	U Ctr		P			3.0	QM
Comment: Carpet on floor.									
Interior Room 008 C/D Bedrm									
097	A	Door	Ctr	Rgt casing	I			2.8	QM
098	A	Door	Ctr	U Ctr	I			3.1	QM
115	A	Door	Rgt	U Ctr	P			>9.9	QM
099	A	Threshold	Ctr		P			0.5	QM
096	B	Door	Lft	Rgt jamb	P			2.2	QM
095	B	Door	Lft	Rgt casing	P			2.4	QM
103	B	Door	Rgt	Rgt casing	I			2.0	QM
104	C	Window	Lft	Rgt casing	P			3.1	QM
105	C	ExteriorSash	Lft		P			1.6	QM
102	D	Window	Lft	Sash	P			>9.9	QM
100	D	Window	Lft	Sill	P			2.8	QM
101	D	Window	Lft	Lft casing	P			7.7	QM
Comment: Carpet on floor, walls paneled, ceiling tiled.									
Interior Room 009 2F Bath									
107	A	Wall	U Ctr		I			0.1	QM
106	A	Ceiling			I			0.0	QM
110	B	Wall	L Rgt		I			0.1	QM
109	C	Wall	U Lft		I			0.1	QM
111	C	Window	Ctr	Sash	I			3.2	QM
112	C	Window	Ctr	Lft casing	I			2.1	QM
108	D	Wall	U Rgt		I			-0.1	QM
114	D	Door	Ctr	Rgt jamb	I			0.2	QM
113	D	Door	Ctr	Rgt casing	I			0.3	QM
Comment: Linoleum on floor.									
Interior Room 010 A/D Bedrm									
132	A	Wall	U Ctr		I			-0.1	QM
116	A	Ceiling			I			2.9	QM
126	A	Door	Rgt	Lft casing	I			0.3	QM
127	A	Door	Rgt	Lft jamb	I			1.0	QM
125	A	Door	Rgt	U Lft	I			0.1	QM
128	A	Threshold	Rgt		I			3.4	QM
129	A	ExteriorDoor	Rgt		I			2.6	QM
130	A	ExteriorJamb	Rgt		I			>9.9	QM
131	A	Storm Door	Rgt		I	Wood		1.9	QM
122	B	Wall	U Ctr		I			0.0	QM
123	B	Door	Ctr	Rgt casing	I			0.4	QM
124	B	Door	Ctr	U Ctr	I			0.1	QM
117	C	Wall	U Lft		I			-0.1	QM

DETAILED REPORT OF LEAD PAINT INSPECTION FOR: Ilsa Nachrig

Reading No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Color	Lead (mg/cm ²)	Mode
118	D	Wall	U Lft		I			0.0	QM
120	D	Window	Ctr	Sash	I			5.3	QM
119	D	Window	Ctr	Sill	P			-0.1	QM
121	D	Window	Ctr	Lft casing	I			0.4	QM
Comment: Carpet on floor.									
Interior Room 011 A/B Bedrm									
140	A	Wall	U Rgt		I			2.9	QM
133	A	Ceiling			I			3.6	QM
141	B	Wall	U Ctr		I			3.4	QM
142	B	Window	Ctr	Sash	P			7.4	QM
143	B	Window	Ctr	Sill	P			0.3	QM
144	B	ExteriorSash	Ctr		P			6.5	QM
145	B	Blindstop	Ctr		P			>9.9	QM
137	C	Wall	U Ctr		P			3.1	QM
138	C	Baseboard	Ctr		I			0.0	QM
136	C	Door	Lft	Rgt casing	P			0.2	QM
139	D	Wall	U Lft		I			2.7	QM
135	D	Door	Ctr	Rgt casing	I			0.0	QM
134	D	Door	Ctr	U Ctr	P			0.3	QM
Comment: Carpet on floor.									
Interior Room 012 B/C Bedrm									
147	A	Wall	U Lft		P			0.1	QM
146	A	Ceiling			P			3.0	QM
148	B	Wall	L Lft		P			0.0	QM
149	B	Wall	U Rgt		P			4.0	QM
155	B	Window	Rgt	Sash	P			3.3	QM
154	B	Window	Rgt	Sill	P			1.6	QM
153	B	Window	Rgt	Lft casing	P			6.2	QM
151	C	Wall	U Ctr		P			0.1	QM
152	C	Baseboard	Ctr		P			0.4	QM
150	D	Wall	L Ctr		P			3.4	QM
157	D	Door	Rgt	Rgt jamb	P			1.0	QM
156	D	Door	Rgt	Rgt casing	P			2.2	QM
158	D	Door	Rgt	U Ctr	P			1.0	QM
Comment: Carpet on floor.									
Interior Room 013 Bsmt Stair									
212	B	Stairs	Ctr	Wall	P			0.0	QM
213	C	Stairs	Ctr	Treads	P			0.0	QM
210	D	Stairs	Ctr	Wall	P			0.1	QM
211	D	StairBeam	Ctr		P			0.3	QM
Calibration Readings									
001								0.9	TC
002								0.8	TC
003								1.0	TC
004								0.1	TC
214								0.9	TC
215								0.8	TC
216								0.7	TC
217								0.0	TC

---- End of Readings ----

SCHNEIDER LABORATORIES GLOBAL

INCORPORATED

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LABORATORY ANALYSIS REPORT

Lead Analysis based on EPA 7000B Method

Using Preparation Method EPA 3050B

ACCOUNT #: 677-14-4855
CUSTOMER: SAFE HOMES
ADDRESS: 493 Willow St.
WATERBURY, CT 06710

DATE RECEIVED: 5/16/2014
DATE ANALYZED: 5/16/2014
DATE REPORTED: 5/16/2014

PROJECT NAME:
JOB LOCATION: 124 McKinley
PROJECT NO.:
PO NO.:

Sample Type: WIPE

SLI Sample No.	Customer Sample No.	Collection Date	Sample Description	Sample Area (ft ²)	Total Lead (µg)	Lead Conc (µg/ft ²)
32213638	1	5/15/2014	Liv Rm Sill	0.64	94.1	147.0
32213639	2	5/15/2014	Kitchen Floor	1.00	< 10.0	< 10.0
32213640	3	5/15/2014	Blank		< 10.0	

Analysis Run ID: 53415

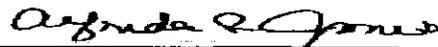
Analyst: Omar H. Elshowaya

Total Number of Pages in Report: 1

Results relate only to samples as received by the laboratory.

Final concentration calculations are based on client supplied information.

Reviewed By



Alfreda R. Jones, Data Management

Visit www.slabinc.com for current certifications.

Accrediting bodies: AIHA-LAP, LLC 100527, NVLAP 101150-0, VELAP/NELAC 460135 - Call laboratory for current national and state certifications.

Minimum Reporting Limit: 10.0 µg. EPA Lead Hazard Std: 40 µg/ft² floors (please check lead wipe EPA HUD limit in your state) and 250 µg/ft² interior window sills, based on weighted avg of all samples taken. EPA Clearance Std: 40 µg/ft² floors, 250 µg/ft² interior window sills, 400 µg/ft² window troughs. MDLs and resulting reporting limits are based on ASTM E 1792 compliant media. *Data precision justifies 2 sig figures. All internal QC parameters were met. Unusual sample conditions, if any, are described.

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GENERAL CONSTRUCTION NOTES

1. The Contractor shall perform the work to accommodate to the greatest extent reasonable the normal use of the premises by the Owner during the construction period.
2. It is the Owners intention to proceed with the dwelling occupied during the entire construction project. Coordinate with the Owner in all construction operations to minimize conflict, and to facilitate the Owner usage of the dwelling, parking, and access to the building.
3. The Contractor shall maintain containment within the work area when performing lead based paint reduction activities as required, until such time as clearance is received.
4. The Contractor shall coordinate any and all short-term interruptions or shutdowns with the Owner prior to commencing.
5. The Contractor shall take every precaution to ensure the safety of the occupants during all phases of construction. The Contractor shall to the greatest extent reasonable maintain a least one exit for access. Coordinate restrictions and closures with Owner.
6. The Contractor shall be responsible for protecting the dwelling and contents from weather and damage during construction, and shall be responsible for the repair and or replacement of any damage to the building and or contents until completion of the contract.
7. The Contractor shall assume full responsibility for the protection and safekeeping of his materials and products under this Contract stored on the site. The Contractor shall move any stored products under the Contractor's control which interfere with operations of the owner.

PROJECT MEETINGS

1. The selected Contractor shall attend a contract signing meeting as scheduled by the Owner, and Consultant.
2. The selected Contractor shall attend periodic job meetings during the course of construction, on site, as required.

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PRODUCT AND EXECUTION

1. Workers shall be experienced and skillful in performing the work assigned to them.
2. Contractor shall verify critical dimensions, operations and functions in the field before ordering or fabricating items which must fit adjoining construction. The Contractor shall verify all existing conditions and dimensions prior to the work. Any and all discrepancies shall be reported to the Owner and Consultant prior to ordering any materials or performing the work.
3. The Contractor shall follow manufacturer's instructions for assembly, installation and product adjustment. In the event of conflicting specifications the specifications of the manufacturer shall prevail.
4. In the event unforeseen circumstances the Contractor shall notify the Owner and Consultant within three days of discovery. If the work is deemed additional or extra by the Consultant then a change order will be negotiated, executed and authorized by the Contractor, Owner and Consultant prior to the commencement of the work. Any work performed prior to the execution of a change order may or may not be considered for payment.
5. The specifications do not attempt to detail every task and procedure required to perform the work in full. The Contractor shall perform the work as required to complete the work in a professional manner using customary trade practices and standard work practices.

REMOVAL OF DEBRIS AND SITE MAINTENANCE

1. The contractor shall include in their bid the cost of trash containers and the removal and lawful disposal of said debris off site.
2. The Contractor shall coordinate with the Owner for the placement of trash containers if necessary prior to the start of demolition.
3. The Contractor shall be responsible for the daily clean up and maintenance of the site. All debris, construction materials, scrap, rubbish etc. shall be placed in a trash container or dumpster on a daily basis. Sidewalks, driveways and pedestrian ways shall be broom swept at the end of each day.

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MATERIAL DELIVERY, STORAGE AND HANDLING

1. The Contractor shall determine and comply with manufacturer's recommendation on product handling, storage installation and protection.
2. Products shall be delivered to the job site in their manufacturers' original containers, with labels intact and legible. Do not deliver materials to job site until they can be properly protected.
3. Maintain packaged materials with seals unbroken and labels intact until time of use.
4. The Owner and or Consultant may reject materials and products which do not bear identification satisfactory to the Owner or Consultant

SUBMITTAL

The following list of submittals is for the convenience of all parties concerned it is not necessarily a complete list of all submittals required.

1. Submit the following before the start of work:
 - a. Copy of building permit.
 - b. Construction schedule.
 - c. Material submittals if not using materials as specified.
2. Submittals before Certificate of Completion and final payment.
 - a. Acceptance of work from local Building Official.
 - b. All warranty and guarantee information
 - c. Signed and notarized lien waivers from first tier subcontractors and suppliers.

WARRANTIES AND GUARANTEES

1. The Contractor shall issue the Owner a written Notice of Guarantee after the date of receipt of Certificate of Completion. Submit to the Owner on letterhead in the following form:
Name of Project and date
I/We, (FIRM NAME), hereby warrant, and guarantee workmanship on labor for the renovations performed at (OWNER'S ADDRESS), as per contract signed on (DATE OF CONTRACT) for a period of one (1) year from the date of the Certificate of Completion.
Signed

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ROOFING AND VENTILATION

GENERAL

1. Work in this section shall be governed by the Contract Documents. Contractor shall provide all materials, labor, equipment and services necessary, to perform and complete the work specified herein and or as required by job conditions.

INTENT

1. The intent of the proposed work is to remove and dispose of all roofing materials and skip sheathing from the house and porch roofs.
2. Provide and install new ½” CDX plywood on house and porch roofs.
3. Provide and install 30 year rated, architectural, strip type shingles including but not limited to metal rake and drip edging, ice & water shield, shingle underlayment, ridge vents, plumbing boots, and flashings.
4. Remove existing soffit material on B and D sides of house, create open channel as to provide venting path from soffit to ridge vent. Install new vented vinyl soffit material and Proper Vent.

REFERENCES

1. ASTM D 224 - Standard Specifications for Smooth Surfaces Asphalt Roll Roofing
2. ASTM D226 - Standard Specifications for Asphalt Saturated Organic Felt used in Roofing & Waterproofing
3. ASTM D 3018 - Standard Specification for Class A Shingles Surfaced with Mineral Granules.
4. ASTM 3161 - Standard Test Method for Wind Resistance of Asphalt Shingles (Fan Induced Method)
5. ASTM 3462 - Standard Specification for Asphalt Shingles Made from Glass felt and Surfaced with Mineral Granules.
6. ASTM 4586 - Standard Specification for Asphalt Roof Cement, Asbestos Free
7. ASTM D4869 - Standard Specification for Asphalt – Saturated Organic Felt Shingle Underlayment used in roofing.

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8. ASTM D 6757 - Standard Specifications for Inorganic Underlayment for Use with Steep Slope Roofing
9. ASTM E 108 - Standard Test Methods for Fire Tests of Roof Coverings.

MATERIALS

1. Rake & Drip Edge – White aluminum rake & drip. Drip edge shall be 5” wide.
2. Underlayment - . GAF “Shingle Mate” or approved equal for strip type shingles and GAF “ Roof Pro” for SBS roofing application. Underlayment shall conform to ASTM - D226, Type 1 or ASTM D4869 type 1.
3. Leak Barrier - GAF “Weather Watch” mineral surfaced leak barrier or approved equal. Material shall conform to the requirements of ASTM D 1970. Thickness to be min. 40 mils. Tensile strength MD (lbf/in) minimum 25.
4. Starter Strip Shingles shall be Pro Start eave and rake starter strip as manufactured by GAF or approved equal.
5. Laminated fiberglass – shall be GAF Timberline HD Shingles or approved equal. Shingles shall carry Underwriter's Laboratories labels, UL® 790 Class A Fire Resistance, UL® 997, Wind Resistance and/ ASTM D3462. Shingles shall be Class A, strip type, self sealing
6. Hip and ridge shingles shall be Seal – A – Ridge, ridge cap shingles as manufactured by GAF or approved equal
7. Ridge Vent - GAF “Cobra Ridge Vent, or approved equal.
8. Fasteners - Aluminum or galvanized sharp pointed conventional roofing nails with smooth shanks, minimum 3/8” diameter head and of sufficient length to penetrate 3/4” into solid decking or penetrate through plywood sheathing. Provide 6 nails per full shingle. Staples are not acceptable.
9. Roof boots/ Flashing Vents - EPDM rubber-aluminum boots.
10. Flashing cement - trowel grade non asbestos mineral- fibered roofing mastic ASTM D-2822 Type 1 and ASTM D-4586 Type 1, equivalent to Karnak.
11. Step and roll flashing - Aluminum 0.040” thick, color mill finish.
12. Chimney flashing – step and counter flashing, lead flashing.

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13. Provide one of the following manufacturers of soffit and ceiling material:
 - a. Alcoa / Mastic Soffit, Pro-Tech Plus triple 4 center vent.
 - b. CertainTeed / Wolverine Soffit, Universal triple 4 center vent
 - c. Vipco Soffit, Triple 4, center vent

SHINGLE REMOVAL

1. Remove and legally dispose of existing roofing materials such as but not limited to, roof boots, roof vents, plumbing boots, flashing materials, rake and drip edge, felt paper and fasteners from roof.
2. Contractor shall remove only as much material as can be replaced in a single work day. Contractor shall be responsible for any water damage to the structure and to Owners' property as a result of inadequate protection.
3. Removal work shall be done in a manner and by such means as is necessary to protect the buildings from damage; to cause minimum interruption to activities; to avoid hazard or injury to persons or property during the entire construction project.
4. Inspect roof sheathing, if after shingle removal decking surfaces are determined to be inappropriate for installation of new roofing, Contractor shall notify the Owner & Consultant of any decking which requires replacement.

PREPARATION OF ROOF DECK

1. The contractor shall inspect the entire area to be roofed and verify it is clean and free of debris, nails, or any other item which may cause interference with the installation of the new roofing materials.
2. Install a minimum of two (2) courses of ice & water shield along all eaves extending a minimum of 24" beyond heated wall. Install full coverage ice & water barrier on any roof with less than a 4"/12" pitch.
3. Install full sheet of ice & water barrier centered in valleys allowing for 18" overlap onto either roof deck. Overlap minimum of 6" at head laps.
4. Install (18") eighteen inch wide strip of ice & water barrier along the rakes. Overlap and seal joints a minimum of 6".
5. Install a minimum of 18" x 18" piece of ice & water shield around any roof penetrations such as vent, hoods, plumbing stacks etc.
6. Install new metal rake and drip edge on all rakes and eaves. Fasten new metal edging every 8" on center using approved fasteners.

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7. Install roofing underlayment over all roof decks to receive new roofing. Lap each course a minimum of 6" over lower course, and side lapping 4" at all joints.
8. Install underlayment on remaining areas of roof upon completion of installing ice & water barrier.

SHINGLE ROOFING

1. Install roofing as follows:
2. Install starter course along eaves per manufacturer's written instructions.
3. Install shingles per manufacturer's written instructions. Apply six nails per full shingle. Fasten shingles at or below nailing line. Maintain six inch (6") clearance from butt end of proceeding course with any fasteners. Install shingles to meet wind zone requirements per the local building code.
4. Contractor shall provide one additional unbroken bundle of shingles identical to those installed for the Owners usage in the event of future need.

VALLEY

1. Valleys shall be constructed using a closed cut style installation. Install shingles as per shingle manufacturer's written instructions. Install shingles on smaller area of roof and extend a minimum of 24" beyond center of valley. Contractor shall not nail within the valley. Over lay shingles from larger area of roof over new valley shingles and cut to form straight line centered in valley.

ROOF BOOTS

1. Replace existing roof boots and install EPDM rubber-aluminum roof boots on all plumbing vents as existing. Boot shall have soft rubber gasket.

RIDGE VENT

1. Cut through roof sheathing parallel with ridge down approximately 1" on either side of ridge board.
2. Provide and install Cobra-Roll Vent or approved equal in accordance with manufacturer's installation instructions.
3. Cap over new vent with roofing manufacturers ridge cap shingles. Fasten with appropriate sized galvanized roofing nails.

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FLASHING

1. Provide and install aluminum 5" x 7" step flashing as required at gable walls. Contractor may re-use existing flashing to greatest extent possible.

CHIMNEY FLASHING

1. Remove and dispose of existing step flashing at all chimneys.
2. Provide and install new lead step flashing as required for water tight installation.

SOFFIT VENTING

1. Remove and dispose of existing soffit material on B and D sides of house.
2. Remove any non-structural material blocking air flow from soffit to attic.
3. Provide and install Proper Vent in each rafter bay in accordance with manufacturers installation instructions.
4. Provide and install vented vinyl soffit material on B and D sides of house.

Note: It may be necessary to remove the existing aluminum soffit wrap and gutters to accomplish the soffit venting, it is the contractors responsibility to re-wrap the fascias with coil stock aluminum and re-hang the gutters if necessary.

Cost: \$ _____

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WINDOWS

GENERAL

1. Work in this section shall be governed by the Contract Documents. Contractor shall provide all materials, labor, equipment and services necessary, to perform and complete the work specified herein and or as required by job conditions.

INTENT

1. The intent of the proposed work is to remove and dispose of the existing windows throughout the house and basement and install new double hung replacement style windows throughout house and vinyl replacement hopper windows throughout the basement.

Note: All windows tested positive for lead paint, see the enclosed lead report.

MANUFACTURERS

1. Harvey Building Product. Waltham, MA 1-800-598-5400 www.harveyind.com or approved equal.
2. Mercury Excelum, East Windsor, CT 1-800-292-1802 www.mercuryexcelum.com or approved equal.

QUALITY ASSURANCE

1. Manufacturer Qualifications: Minimum ten (10) years producing vinyl (PVC) windows.
2. Source Limitations: Obtain window units from one manufacturer through a single source.
3. Provide window units independently tested and found to be in compliance with ANSI/AAMA/NWDA 101/I.S.2-97 and current A440-05 performance standards listed above.
4. Specified fenestration with the following characteristics:
 - a. U-Factor: Less than or equal to 0.30
 - b. Solar Heat Gain Coefficient: Less than or equal to 0.3
5. Code Compliance: Provide windows that are labeled in compliance with the jurisdiction having authority over the project.
6. Energy Star Rated- windows shall carry Energy Star Rating.

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VINYL REPLACEMENT WINDOW FEATURES

1. Provide and install replacement windows as specified below.
2. Replacement windows shall match original size and configuration unless otherwise specified.
3. Window frames shall be nominal 0.070 inch (1.8mm) thick polyvinyl chloride (PVC) with miter cut and fusion welded corners. Contoured sash design shall be a nominal 0.070 inch (1.7mm) thickness with fusion welded corners. Color: White.
4. Glazing: Low E, 5/8 inch (22mm) nominal thickness, insulated glass units are silicone glazed with an exterior glazing bead.
5. Sash Balances: Block and tackle, complying with AAMA-902. Balance cords shall be anchored to locking terminal housings when the sash is tilted in.
6. Weather Stripping: In compliance with AAMA 701.2.
7. Screens: Half screen, with extruded aluminum frame and 18 x 16 charcoal finished fiberglass mesh screening.
8. No window grills are not to be included in the window configuration.

INSTALLATION

1. Remove existing draperies and reinstall upon window installation as required.
2. Provide and install windows in accordance with manufacturer's installation instructions.
3. Install windows plumb, level and square so as to operate freely and latch securely.
4. Install spun fiberglass insulation within window header and under sill prior to installing window. Insulate between wooden window jambs and vinyl replacement window using spun fiberglass insulation.
5. Re-install stops and fasten with appropriately sized finish nails. Set heads below surface and fill with wood filler. Caulk around remaining window stops and along sill using Phenoseal silicone caulk or approved equal.
6. Wrap exterior window blind stops with white coil stock aluminum.

Cost: \$ _____

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DOORS

GENERAL

1. Work in this section shall be governed by the Contract Documents. Contractor shall provide all materials, labor, equipment and services necessary, to perform and complete the work specified herein and or as required by job conditions.

INTENT

1. The intent of the proposed work is to remove and dispose of the existing doors and install new doors and storm doors as specified below.
2. Remove and dispose of basement hatch door and install new door as specified below.

Door Schedule

<i>Location</i>	<i>Type</i>	<i>Size</i>	<i>Swing</i>	<i>Lockset</i>	<i>Hardware</i>
C - Side House Entry	Fiberglass entry 2 - lite 4 - panel	Match Original	VIF	Schlage Plymouth Keyed Entry F-51- PLY-505 & deadbolt	As supplied by manufacturer
C - Side House Entry Storm	2/3 height self-storing	Match Original	VIF	Push button	As supplied by manufacturer

DOOR MANUFACTURERS

1. Masonite International Door Company, One Tampa City Center, 201 N. Franklin Street, Tampa, FL, Tel: 1-800-895-2723, www.masonite.com or approved equal.
2. JELD-WEN Door Systems PO Box 1329 Klamatha Falls, OR 97601, Tel: 1-800-535-3936, www.jeld-wen.com or approved equal.
3. Therma-Tru, 1750 Indian Wood Circle, Maumee, Ohio 43537. Tel: 800-843-7628. <http://www.thermatru.com/customer-support/contact-us/form.aspx>

Note: Therma-Tru model S296 pre hung entry door to be used as base model for price comparison concerning other approved equal doors.

FEATURES (EXTERIOR DOORS)

1. Panel - 1 ¾" thick, fiberglass
2. Jambs - Wood
3. Hinges -1 ½ pair 3" x 3" loose pin but hinges.
4. Sill - Adjustable.
5. Borings - As noted

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PRE HUNG DOOR INSTALLATION

1. Remove and dispose of existing doors.
2. Doors shall be installed in accordance to manufacturer's installation instructions. Install doors plumb and square so as to fit tightly, operate freely and latch securely. Including all required hardware as provided by manufacturer.
3. Install spun fiberglass insulation between door jambs and framing, including header and two side jambs.
4. Paint all door surfaces and jambs in accordance with the enclosed painting specification.
5. Provide and install new interior door casings matching original style and finish.
6. Provide and install new locksets as listed in the door schedule.

STORM DOORS MANUFACTURER

1. Gerkin Storm Door Model 902, as manufactured by Gerkin Doors & Windows, Sioux City, IA, 1-800-475-5061 with Dakota painted pull handle. Color - White
2. Tuff Core Series Model 133, as manufactured by Mercury Excellum Inc., 215 South Main Street, East Windsor, CT 06086 1-860-292-1800. Color - White

STORM DOOR INSTALLATION

1. Remove and dispose of existing door.
2. Door shall be measured to fit existing opening. Swing to match existing. Door shall be installed plumb and square so as to fit tightly, operate freely and latch securely.
3. New door shall be equipped with external expander with soffit vinyl sweep at bottom. All hardware such as push button latch, pneumatic door closer and hurricane chain are required. Glazings to be in accordance with State and Local regulations.

BASEMENT HATCHWAY

1. Prep and paint existing wood basement hatch door in accordance with the enclosed painting spec.

Cost: \$ _____

**Ilse Naehrig
124 Mckinley Street
Torrington CT 06790
Project # 143-323**

CARPENTRY

GENERAL: This specification includes all labor, materials, taxes and permits required to perform the carpentry work described below. All work must conform to applicable building codes. Coordinate with the work of other trades specified elsewhere.

INTENT

The intent of the proposed work is to:

1. Replace first and second floor front porch T & G fir decking and first floor rim joist trim.
2. Install vinyl soffit material on first and second floor front porch ceilings and rear porch ceiling
3. Install guard rails on both sides of basement stairs and graspable hand rail.
4. Install pressure treated railings on both sides of rear house entry landing and stairs and graspable hand rail.
5. Vent dryer through basement rim joist.
6. Replace single cement step with two cement steps with graspable handrail at D - side house entry.

Note: Items # 1 and #2 in the above intent tested positive for lead paint, see the enclosed lead report.

PORCH DECKING

1. Remove and dispose of existing (first and second floor) front porch decking as to expose original framing.
2. Provide and install 1 x 4 - T & G fir decking as to replace original decking. Toe-nail individual deck boards to each perpendicular joist with # 6 stainless steel ring nail.
3. Replace first floor rim joist trim (skirt) with composite material such as Azek, match original configuration.
4. Apply two coats of solid stain on all 6 sides of decking and allowed to dry prior to installing.

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PORCH CEILINGS

1. Provide and install white beaded soffit material on all porch ceilings, including white J-channel at perimeter of ceilings.

BASEMENT

1. Provide and install new Brosco B75 handrail on basement stairs. New rail shall be fastened to framing members using brass plated handrail brackets. Railing to be between 34-38" measured from the stair nosing, continuous, and returned at the top and bottom.
2. Provide and install guardrail consisting of #2 pine, or comparable material, to enclose both sides of basement stairs. Guard rail to be a minimum of 36" height, measured from the stair nosing, and gapping to be less than 4" diameter. Installation to be applicable code compliant. Paint guard rail in accordance with the enclosed painting specification.
3. Paint components in accordance with the enclosed paint spec.

PORCH RAILINGS

1. Install new guard rails on existing rear entry stoop and stairs. Top and bottom rail to be 2" x 4", balusters to be 2" x 2", deck posts at each corner at base of stairs to be 4" x 4". Install an exterior grade graspable hand rail on one side of stairs. All material to be # 2 pressure treated pine. Attach balusters with exterior grade screws.
2. Railing heights, baluster spacing, etc. are to meet code specs, and is the general contractor's responsibility.

DRYER VENT

1. Provide and install new dryer vent in basement to shortest distance to outside. Provide and install louvered vent at outside house wall. Vent piping to be code compliant.

PORCH STAIRS

1. Replace single cement step with two cement steps at D - side house entry. Remove and dispose of existing cement step. Form and pour (using 3,000 PSI Portland cement) two new code compliant steps. Tool edges with masons edger. Broom finish surface.
2. Provide and install a new exterior grade graspable hand rail for new stairs. Paint handrail in accordance with the enclosed painting spec.

Cost: \$ _____

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ELECTRICAL

GENERAL: This specification includes all labor, materials, taxes and permits required to perform the electrical work described below. All work must be performed in compliance with all National, State and Local Electrical Codes.

INTENT

The intent of the proposed work is to:

1. Install wireless interconnected smoke detectors in each bedroom.
Install wireless interconnected smoke & C.O detectors at each level of house.
2. Convert outlets to GFI: 1 - Kitchen backsplash, 1 - First floor bathroom.
Install new GFI outlet: 1 - Second floor bathroom.
3. Convert 2-Prong outlets to 3-prong throughout house.
4. Install new duplex outlets as listed below. Install arc fault protection for 3 - bedrooms.

SMOKE & C.O. DETECTORS

1. Provide and install First Alert brand (or equal) wireless, battery powered, interconnected, smoke detectors in each bedroom. Provide and install First Alert brand (or equal) wireless, battery powered, interconnected, smoke/CO detectors on each level of house.

GFCI OUTLETS

1. Convert existing outlets to GFCI: 1 - Kitchen back splash. 1 - First floor bathroom.
2. Provide and install all circuitry and related materials to install a new GFI outlet in second floor bathroom. New outlets to be serviced by dedicated 20 amp circuit. Verify location with owner prior to installation.

2-PRONG OUTLETS

1. Convert existing 2-prong to 3-prong outlets throughout house as needed. Include new wall plates.

DUPLEX OUTLETS

1. Provide and install all circuitry and related materials to install new duplex outlets at Second floor 2 - A/B bedroom, 2 - B/C bedroom. New outlet to be serviced by dedicated 15 amp circuit, with arc fault protection for 3 - bedrooms. Verify location with owner prior to installation.

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Project # 143-323**

PAINTING

GENERAL: This specification includes all labor, material, insurance, taxes, permits and fees required to perform the work described below. Coordinate with the work of other trades specified elsewhere. The Contractor shall adhere strictly to the provisions of the ALead-Based Paint Poisoning Prevention Act. Specifically, the Contractor will not utilize lead-based paint as a finish or undercoat or any other use in or out of residential dwellings and shall comply with all provisions of Public Law 91-695 (42 U.S.C. 4831) ALead Based Paint Poisoning Act.

INTENT

The intent of the proposed work is to:

1. Address all lead hazards listed in the enclosed lead report.
2. Paint all newly installed components (that require painting) listed in the enclosed specification unless listed otherwise.

GENERAL PAINTING REQUIREMENTS

1. All new materials to be painted shall be primed with materials as recommended by the manufacturer of the finish paint.
2. On all surfaces to be painted, any necessary sanding, scraping, cleaning, priming, puttying or other surface preparation is required.
3. All painting must be performed in accordance with manufacturer's instructions. All painting is to be performed in two (2) coats.
4. Contractor shall use Benjamin Moore, California Paint or Sherwin Williams paint or approved equal.
5. Colors to be selected by Owner from manufacturer's standard color chart. Paint sheen (gloss, semi-gloss, eggshell, flat, etc.) to be owner's choice.
6. All items not requiring painting are to be completely protected from over-spray, drips, or any other damage during the course of this work.
7. Upon completion, all work must be free from runs, drips, sags, variations in color or gloss or any other defect.

Cost: \$ _____

**Ilse Naehrig
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Torrington CT 06790
Project # 143-323**

COST SUMMARY

ROOFING	\$ _____
WINDOWS	\$ _____
DOORS	\$ _____
CARPENTRY	\$ _____
ELECTRICAL	\$ _____
PAINTING (INCLUDING LEAD PAINT HAZARD REDUCTION)	\$ _____
TOTAL	\$ _____

Small, Minority, Women-Owned Business Concern Representation

The bidder represents and certifies as part of its bid/ offer, that it --

(a) Is, Is not a small business concern. "Small business concern," as used in this provision, means a concern, including its affiliates, that is independently owned and operated, not dominant in the field of operation in which it is bidding, and qualified as a small business under the criteria and size standards in 13 CFR 121.

(b) Is, Is not a women-owned business. "Women-owned business enterprise," as used in this provision, means a business that is at least 51 percent owned by a woman or women who are U.S. citizens and who also control and operate the business.

(c) Is, Is not a minority business enterprise. "Minority business enterprise," as used in this provision, means a business which is at least 51 percent owned or controlled by one or more minority group members or, in the case of a publicly owned business, at least 51 percent of its voting stock is owned by one or more minority group members, and whose management and daily operations are controlled by one or more such individuals. For the purpose of this definition, minority group members are:

(Check the block applicable to you)

- Black Americans
- Asian Indian Americans
- Asian Pacific Americans
- Native Americans
- Hispanic Americans
- Hasidic Jewish Americans

I, the undersigned Contractor agree to provide all labor, material, permits, taxes, insurance, equipment and related fees, necessary to complete the work as specified above for the property located at:

*124 Mckinley Street
Torrington CT 06790
Project #: 143-323*

All work will be performed in accordance to applicable Building and Fire Code(s).

Company Name: _____

Address: _____

Phone: _____ Fax: _____ Email: _____

FEIN or SSAN#: _____ Contractor License # _____ Exp. Date: _____

Date: _____ Print Name: _____

Signature: _____

Total Bid Amount: \$ _____

Amount Written: _____

(This information must be submitted in order to have your bid considered responsive)

PROPERTY OWNER VERIFICATION

I, the undersigned Owner(s) acknowledge that I have fully read and understand the attached project specifications. I understand this to be the scope of work and the extent of the renovations to be performed at the property location shown below.

*124 Mckinley Street
Torrington CT 06790
Project #: 143-323*

I understand that any revisions to these specifications changing the scope of work can be made only for unforeseen circumstances. This is for my protection and for providing a clear understanding to the contractor who will provide a quote for the proposed work.

DATE: 6-9-14 OWNER: *Ilse Naehrig*
Ilse Naehrig